

LOCAL REVIEW BODY

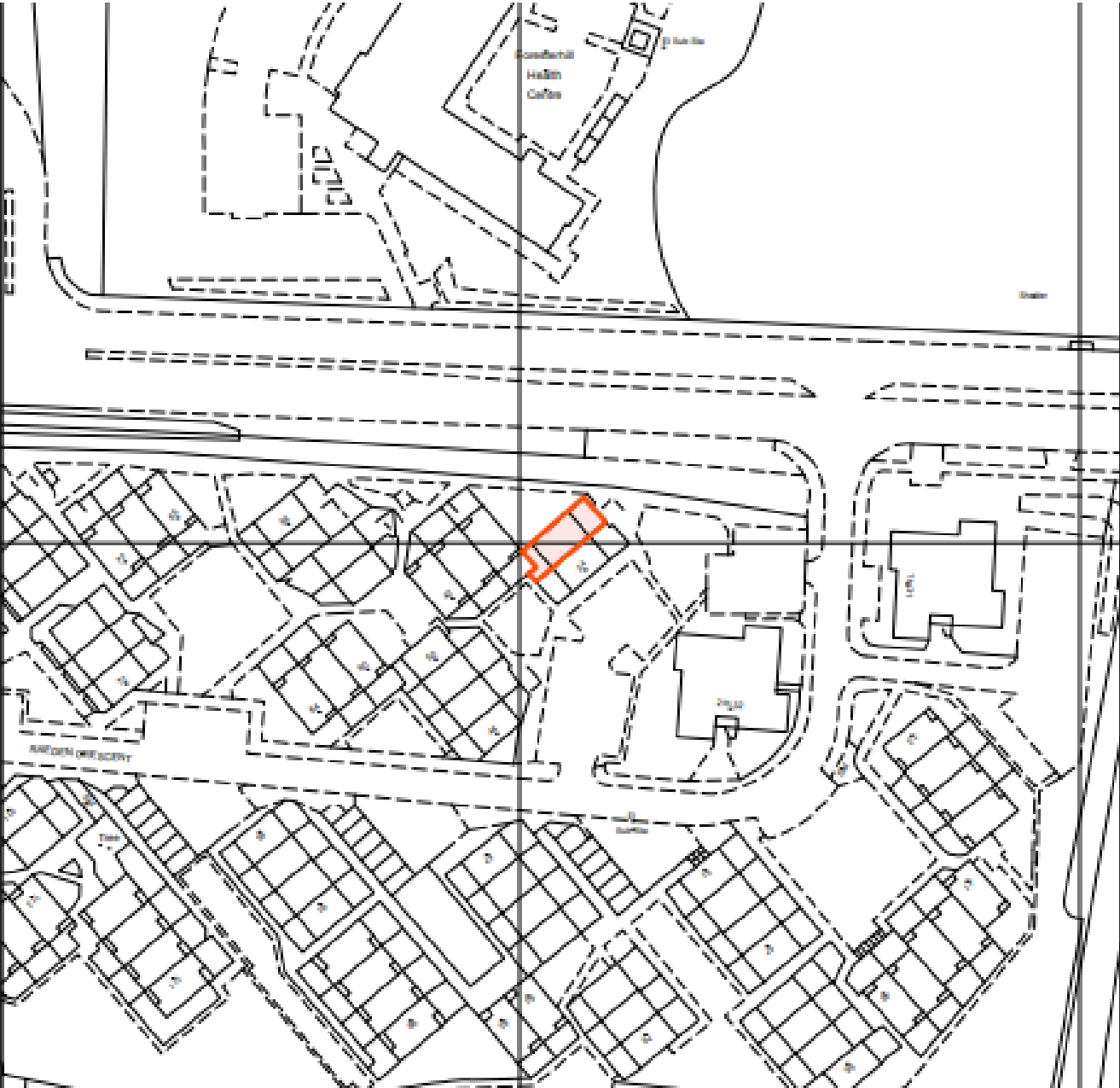


191508/DPP– Review against refusal of planning permission for:

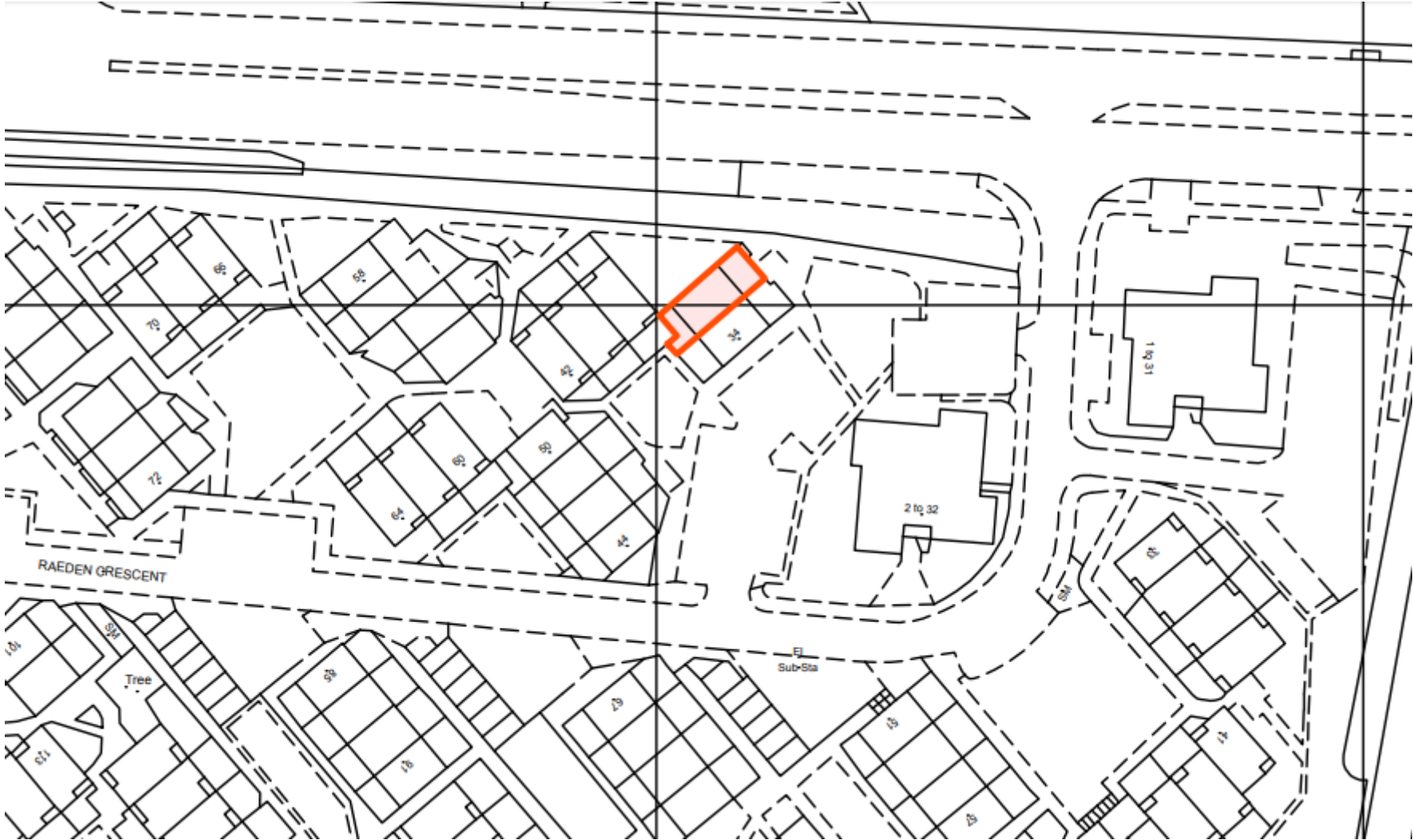
Erection of single storey extension to public facing (northeast) rear and formation of dormers to front and rear

36 Raeden Crescent, Aberdeen

Location Plan



Location Plan



View up Westburn Road



View from Westburn Road



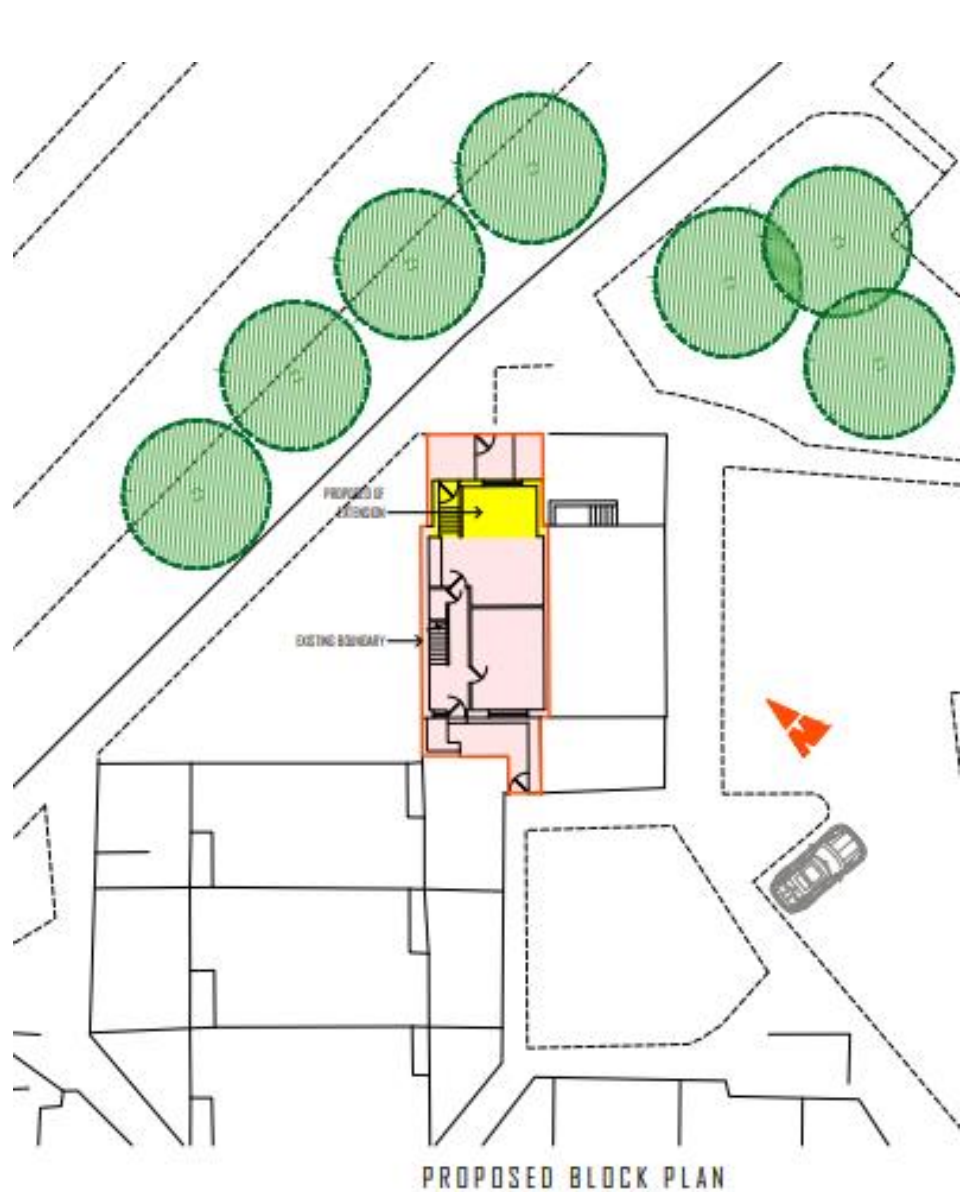
View of Courtyard Elevation



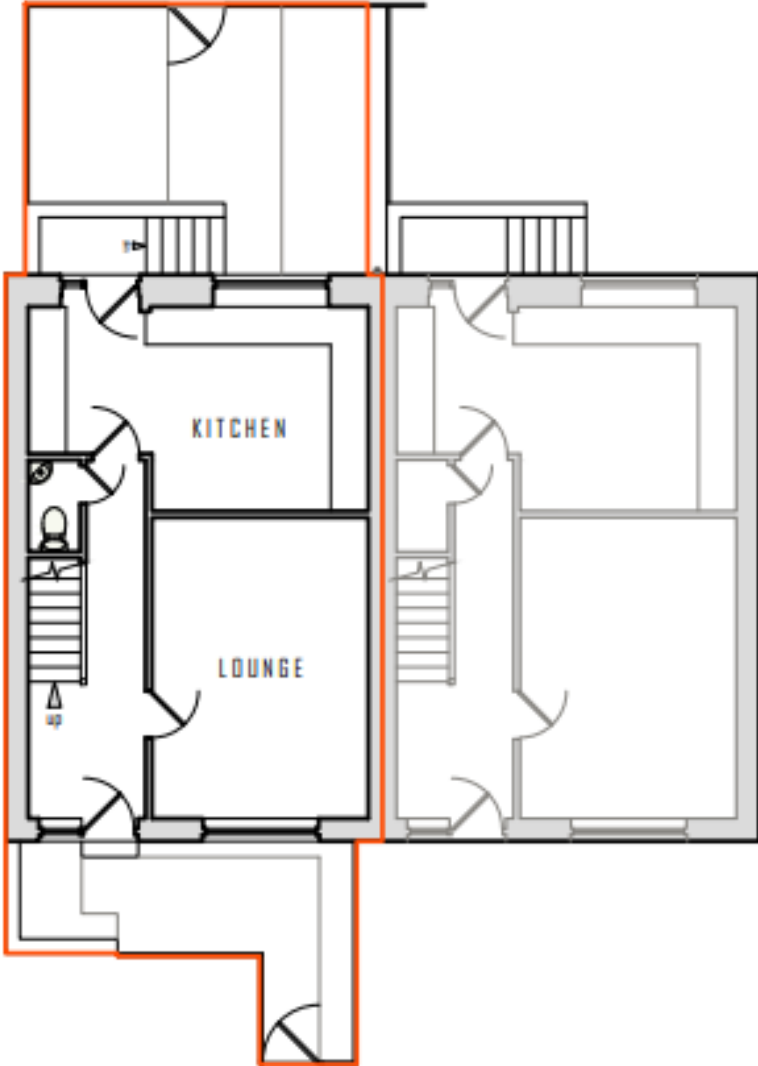
Wider Context (property not shown)



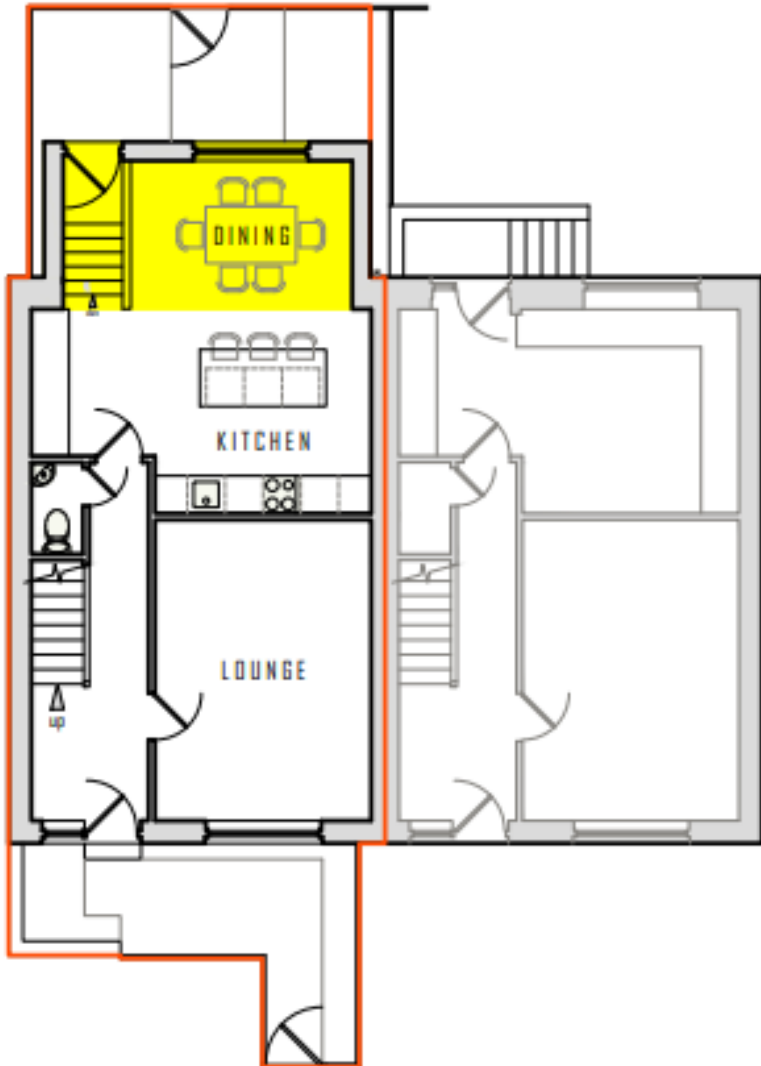
Existing and Proposed Block Plan



Existing and Proposed Ground Floor

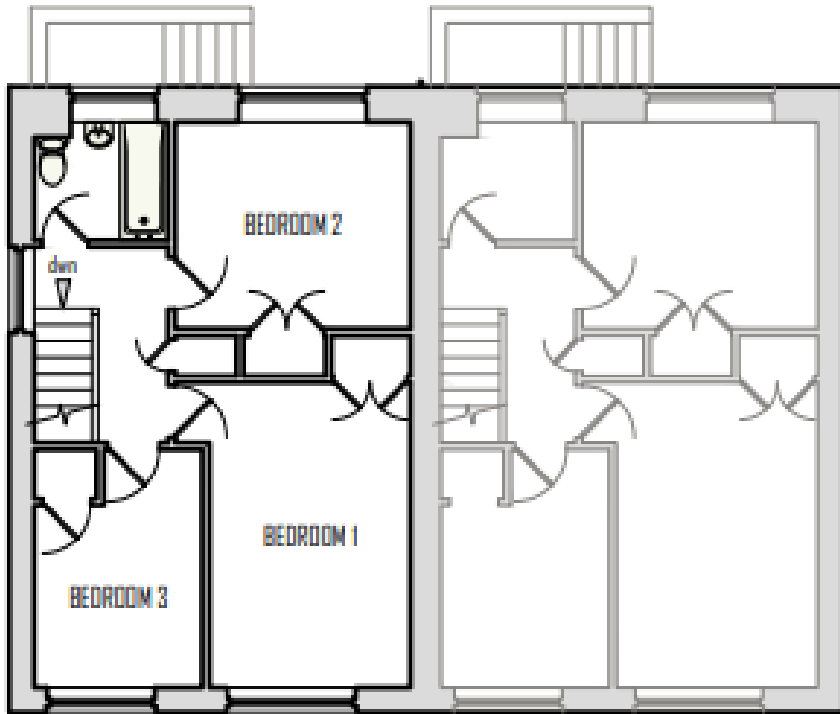


EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

Existing and Proposed First Floor

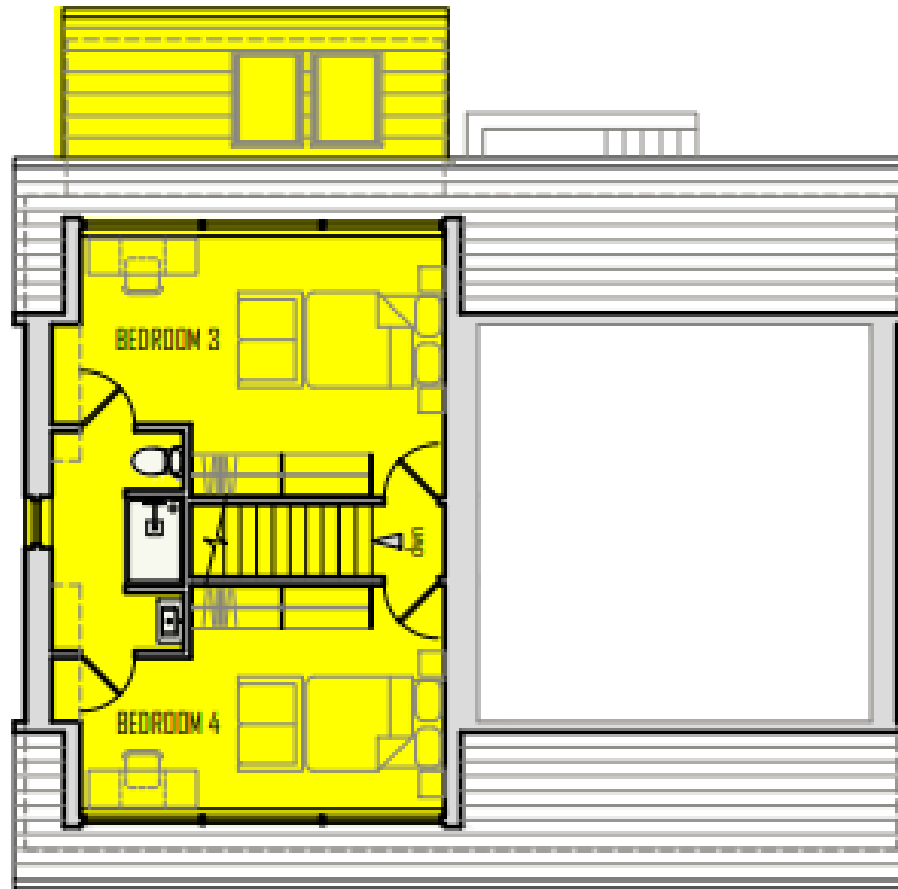


EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

Proposed Second Floor



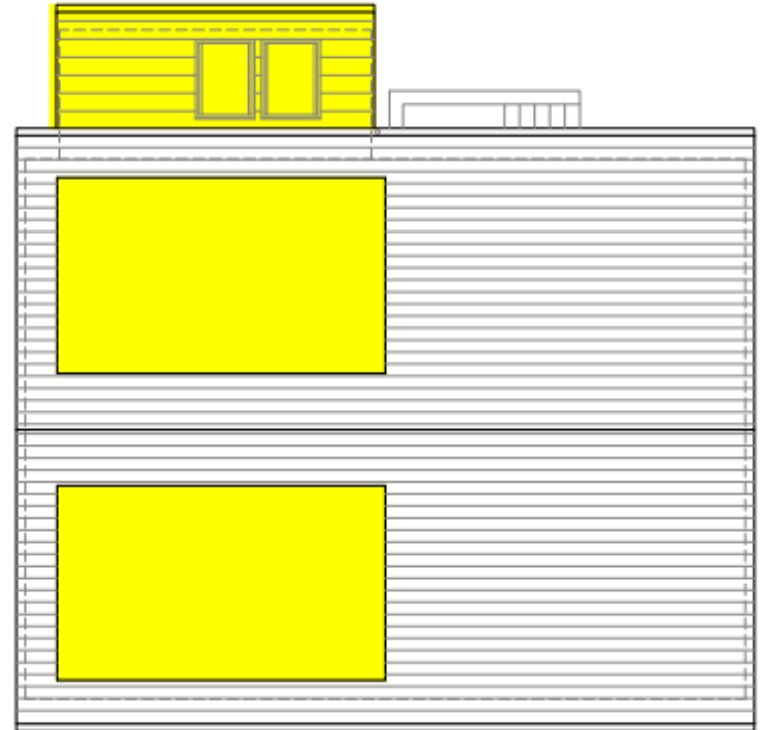
PROPOSED SECOND FLOOR PLAN



Existing and Proposed Roof Plan



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

Existing and Proposed North Elevation



EXISTING NORTH ELEVATION



RATIONAL - ALUCLAD TRIPLE GLAZED WINDOW UNITS [TYP] [COLOUR REF RAL 7016 OUTSIDE & RAL 9016 INSIDE]

MATCHING CONCRETE TILE TO ROOF + 2ND VELUX ROOF LIGHTS

MATCHING uPVC DOOR / FANLIGHT + KITCHEN WINDOW IN WHITE

PROPOSED NORTH ELEVATION

Existing and Proposed South Elevation

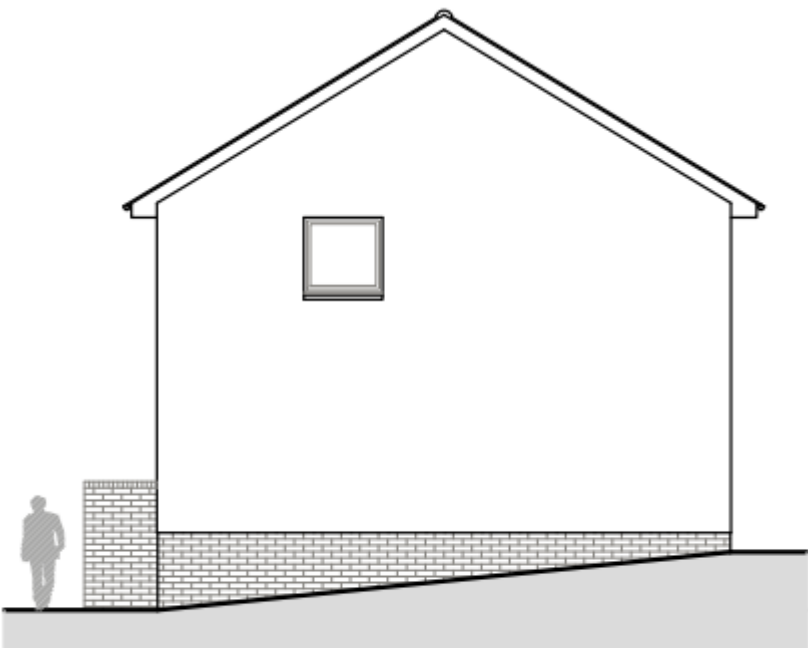


EXISTING SOUTH ELEVATION

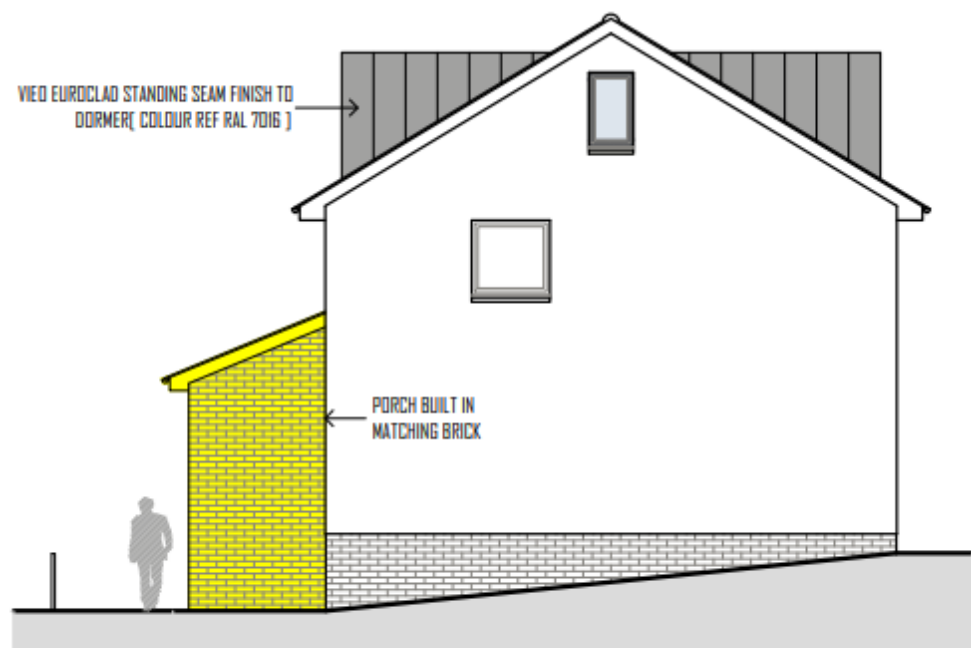


PROPOSED SOUTH ELEVATION

Existing and Proposed West (side) Elevation

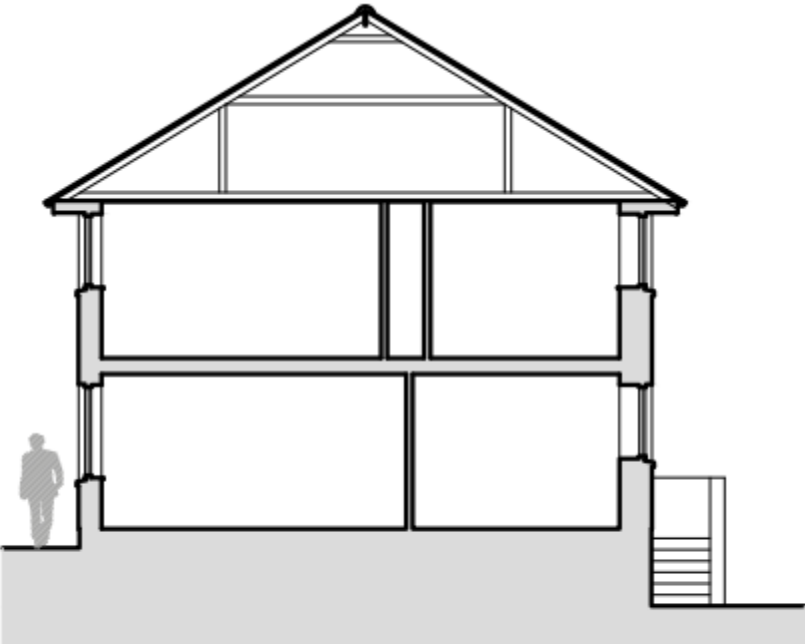


EXISTING WEST ELEVATION

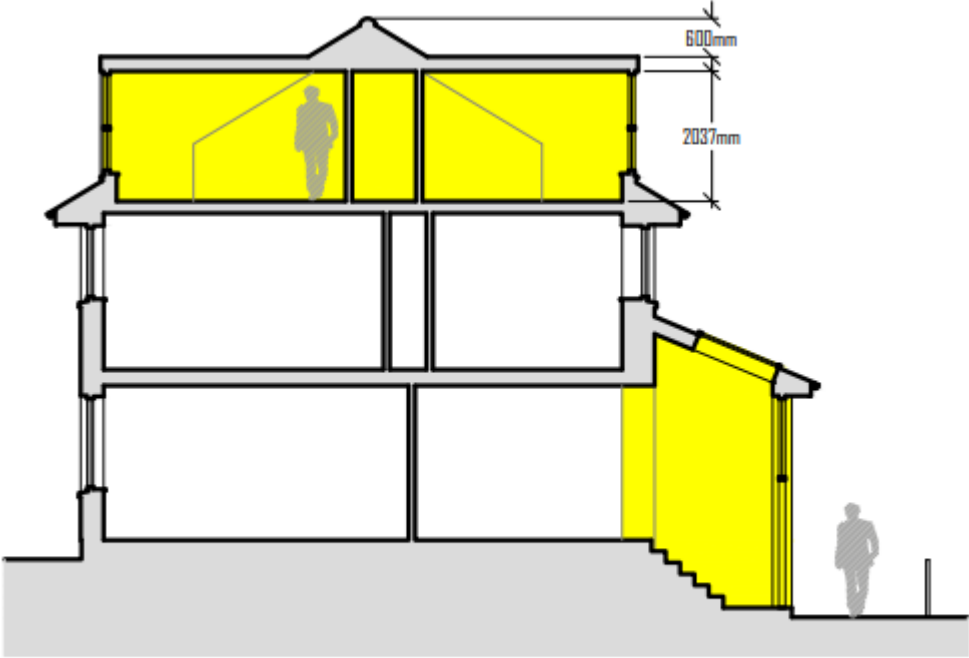


PROPOSED WEST ELEVATION

Existing and Proposed Sections



EXISTING SECTION AA



PROPOSED SECTION AA

Reasons for Decision

would detract from the uniform character and appearance and the established pattern of development by introducing dormer windows in an area where there are presently none.

Proposed dormers are of a scale and design that would dominate the roofslope and would not be compatible with the architectural character of the original dwelling.

Potential to set unwelcome precedent for similar scaled dormers in the surrounding area, detracting from the uniform character and the visual amenity of the surrounding area

Conflict with Policies D1 – Quality Placemaking by Design and H1 - Residential Areas of the ALDP and the associated Supplementary Guidance: 'The Householder Development Guide'.

Policy H1 (Residential Areas)

Policy H1 - Residential Areas

Within existing residential areas (H1 on the Proposals Map) and within new residential developments, proposals for new development and householder development will be approved in principle if it:

- 1 does not constitute over development;
- 2 does not have an unacceptable impact on the character and amenity of the surrounding area;
- 3 does not result in the loss of valuable and valued areas of open space. Open space is defined in the Aberdeen Open Space Audit 2010; and
- 4 complies with Supplementary Guidance.

- Is this overdevelopment?
- Would it have an *'unacceptable impact on the character and amenity'* of the area?
- Would it result in the loss of open space?
- Does it comply with Supplementary Guidance?

Householder Development Guidance

- General Principles –
 - Should be '**architecturally compatible in design and scale with the original house and its surrounding area**'.
 - Should not '**dominate or overwhelm**' the original house and should '**remain visually subservient**'.
 - Should not result in adverse impact on '**privacy, daylight, amenity**'
- Footprint of dwelling as extended should not exceed **twice that of original house**
- **No more than 50% of front or rear curtilage** may be covered (anything less than that considered on its merits)
- Approvals pre-dating the guidance (2017) do not represent a '**precedent**'

Rear extensions to semi-detached properties limited to **4m projection** along mutual boundary

Householder Development Guidance

Dormer Windows – General Principles

- New dormers should respect scale of the building and should not dominate, overwhelm or unbalance the original roof;
- In terraces or blocks of properties of uniform design where there are no existing dormers, the construction of new dormers will not be supported on the front or other prominent elevations (e.g. fronting onto a road);

Householder Development Guidance

Dormer Windows – Modern Properties

- New dormers should respect scale of the building and should not dominate, overwhelm or unbalance the original roof;
- Should not be built directly off wallhead and aprons should be avoided on principal elevations
- Should be positioned a min. of 600mm below existing roof ridge
- Should be positioned a min. of 600mm in from gable/party wall
- Glazing should be included to extremities
- Should be more glazing than solid
- Finishes should match those of the original building
- Wherever possible the window proportion and arrangement should echo those on the floor below

Policy D1 (Quality Placemaking by Design)

Policy D1 - Quality Placemaking by Design

All development must ensure high standards of design and have a strong and distinctive sense of place which is a result of context appraisal, detailed planning, quality architecture, craftsmanship and materials. Well considered landscaping and a range of transportation opportunities ensuring connectivity are required to be compatible with the scale and character of the developments.

Places that are distinctive and designed with a real understanding of context will sustain and enhance the social, economic, environmental and cultural attractiveness of the city. Proposals will be considered against the following six essential qualities;

- **distinctive**
- **welcoming**
- **safe and pleasant**
- **easy to move around**
- **adaptable**
- **resource efficient**

How a development meets these qualities must be demonstrated in a design strategy whose scope and content will be appropriate with the scale and/or importance of the proposal.

- Does the proposal represent a high standard of design and have strong and distinctive sense of place?

Points for Consideration:

Zoning: Does the proposal comply with the tests set out in policy H1 (Residential Areas)?

Design: Is the proposal of sufficient design quality (D1) - *having regard for factors such as scale, siting, footprint, proportions relative to original, materials, colour etc?*

Does it accord with the principles set out for both extensions and dormer windows in the 'Householder Development Guide'?

1. Does the proposal comply with the Development Plan when considered as a whole?

2. Are there any material considerations that outweigh the Development Plan in this instance?

Decision – state clear reasons for decision

Conditions? (if approved – Planning Adviser can assist)